

**GENERAL NOTES & SPECS**

**General Requirements:**  
The Contractor shall fully comply with the current edition of the State of Oregon Structural Specialty Code (Oregon Modified International Building Code), IBC Plumbing, Mechanical, Electrical & Fire Codes & all additional state and local code requirements. The Contractor shall assume full responsibility for any work knowingly performed contrary to such laws, ordinances or regulations. The Contractor is to obtain all required permits and licenses required for the work. The Contractor shall also perform coordination with all utilities and state service authorities. Written dimensions on these drawings shall have precedence over scaled dimensions. The Contractor shall verify and is responsible for all dimensions (including rough opening) and conditions on the job and must notify the Architect of any variations from these drawings.

The Architect shall not be responsible for construction means and methods, acts of omissions of the Contractor or sub-contractors, or failure of any of them to carry out work in accordance with the construction documents. Any defect discovered in the construction documents shall be brought to the attention of the Architect by written notice before proceeding with the work. Reasonable time not allowed the Architect to correct the defect shall place the burden of cost and liability from such defect upon the Contractor.

**Doors:**  
Interior doors to be solid core wood single panel with painted finish. ADA lever style hardware with satin nickel finish, operation per schedule.

**Windows:**  
All windows and French doors to be double-glazed wood w/ vinyl cladding with low-E coating. Maximum U-value of 0.35. Andersen 400 series or approved.

**Building Insulation:**  
Insulation shall be fiberglass or closed-cell polyurethane. R values as noted in drawings.

**Roof Shingles:**  
Laminated architectural composition shingles, 110 mph wind rated, color as selected by Owner, Malarkey Legacy or approved. 30" a.s. felt, roof vents, stainless flashing.

**Siding:**  
Western Red Cedar shingles, 18" length, 6" exposure, band sawn, Blue label, Red label allowed at starter course, clear weather protecting sealer.

**Sheet Metal Flashing and Trim:**  
Stainless steel flashings typically, pre-finished sheet steel gutters and downspouts.

**Gypsum Board:**  
Install gypsum board assemblies in accordance with GA-201, Gypsum Board for walls and ceilings. Gypsum board to be 1/2" with square cut ends and tapered edges, unless noted otherwise. Finish to match existing.

**Flooring:**  
Carpet to be commercial grade, broadloom, direct glued, selection by owner, 4" rubber base. Verify all substrates are acceptable to manufacturer prior to installation.

**Painting:**  
All paints for project shall be from same source manufactured by Miller, Parker, Sherwin-Williams or approved equal.  
Gypsum board assemblies: 2 coats solvent free, acrylic latex satin over high solid PVA primer.  
Wood doors: 2 coats acrylic latex satin over.

**Electrical:**  
Electrical work shall be performed on a design-build basis. The contractor shall furnish a complete and operative electrical system to meet all local and state codes. Lighting and receptacle locations and fixtures shall be as verified. Fixtures specified on lighting / reflected ceiling plan are for bidding purposes and intent, only. Contractor to be responsible for emergency lighting design. Contractor is responsible for all submittals required by Authority Having Jurisdiction.

**HVAC:**  
HVAC work shall be performed on a design-build basis. The contractor shall extend the existing system as possible to new and remodeled areas to furnish a complete and operative mechanical system to meet all local and state codes. Contractor is responsible for all submittals required by Authority Having Jurisdiction. Coordinate all equipment placement and support with Architect prior to final design.

**Plumbing:**  
Plumbing work shall be performed on a design-build basis. The contractor shall furnish a complete and operative plumbing system to meet all local and state codes. Fixtures specified on drawings are for bidding purposes and intent, only. Contractor is responsible for all submittals required by Authority Having Jurisdiction.

**FRAMING SPECIFICATIONS**

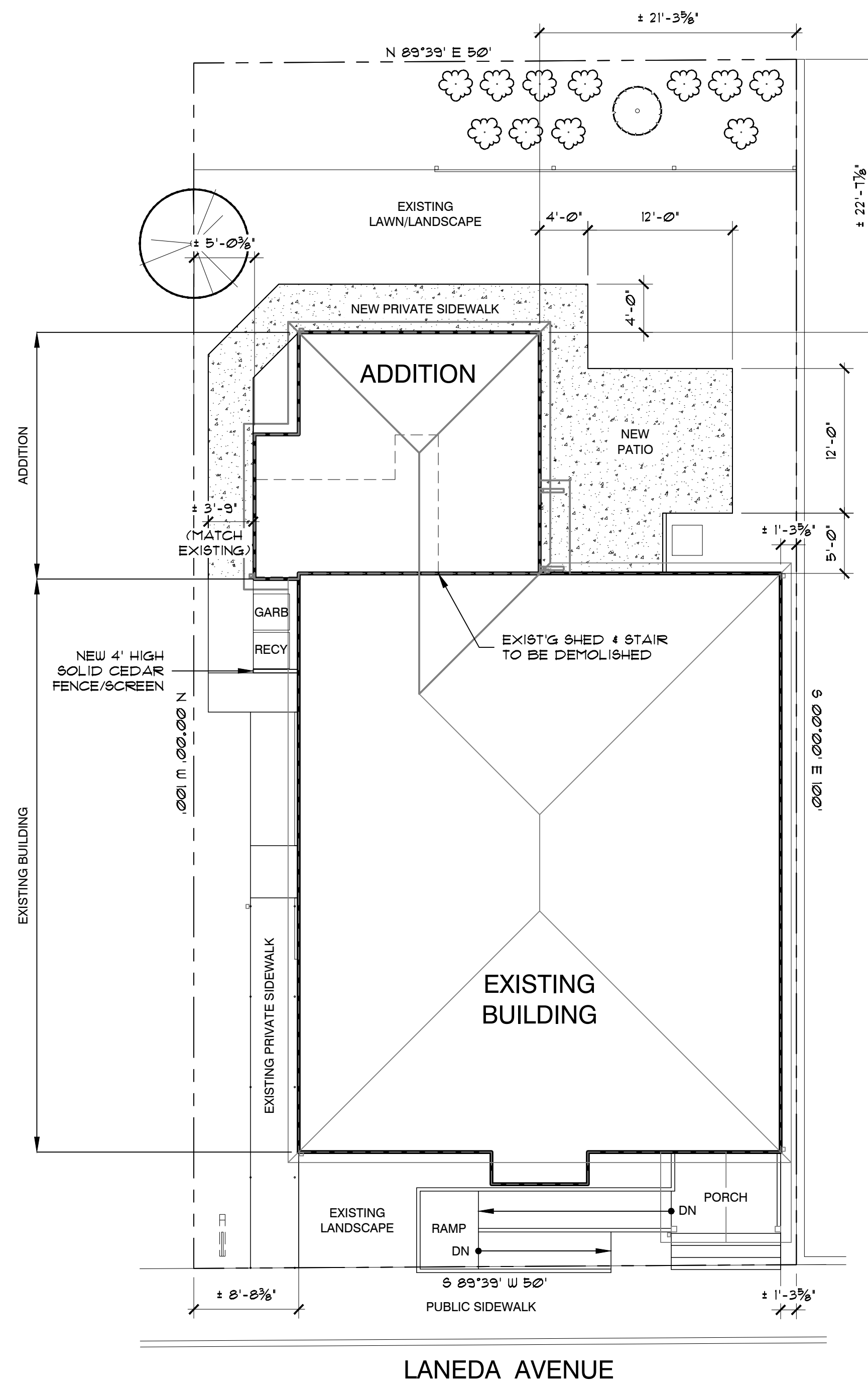
(UNLESS NOTED OTHERWISE)

<b>FRAMING LUMBER:</b>	
JOIST / RAFTERS	DF-L #2
STUDS	DF-L #2
4x AND 6x BEAMS	DF-L #1 (#2 AT FOUNDATION)
GLU-LAM BEAMS	GRADE 24F V-4 OR AS NOTED ON PLANS

**SHEATHING MATERIALS:** Reference Plans

**NAILING SCHEDULE** (all nails are common U.N.O.):

Joist to sill or girder	toe nail	(3) 8d
Bridging to joist	toe nail	(2) 8d
Sole plate to joist or blk'g	face nail	16d @ 16" oc
Sole plate to joist or blk'g @ BP	face nail	(3) 16d @ 16" oc
Top plate to stud	end nail	(2) 16d
Stud to sole plate	toe nail	(4) 8d
	end nail	(2) 16d
Double studs	face nail	16d @ 12" oc
Double top plates	face nail	16d @ 16" oc
	lap splice	(8) 16d
Blk'g btwn joist/rafter to top plate	toe nail	(3) 8d
Rim joist to top plate	toe nail	8d @ 6" oc
Top plates, intersections	face nail	(2) 16d
Top plates, laps	face nail	24" min, (12) 16d ea. side
Continuous header, two pieces	face nail	16d @ 16" oc along ea edge
Ceiling joists to plate	toe nail	(3) 8d
Continuous header to stud	toe nail	(4) 8d
Ceiling joists, laps over partitions	face nail	(3) 16d (min)
Ceiling joists to parallel rafters	face nail	(3) 16d
Rafter to plate	toe nail	(3) 8d
Built-up corner studs	face nail @ top & btm	16d @ 24" oc
Built-up girder & beams	face nail @ ends & splices	20d @ 32" oc staggered on opposite sides - or
(3) or fewer members	(2) rows, staggered	3" x 0.131" nail @ 24" oc
		(2) 20d -or- 3" x 0.131" nail
		1/2" A307 bolts @ 24" oc
Built-up girder & beams	@ each bearing	(2) 16d
2x T&G Subfloor	face nail	(3) 10d
Collar tie to rafter	toe nail	(3) 10d
Jack rafter to hip	face nail	(2) 16d
	toe nail	(2) 16d
Rafter to 2x ridge	face nail	(2) 16d
	face nail	(2) 16d
Joist to band joist	face nail	(3) 16d
Ledger	face nail @ ea joist	(3) 16d
Sheathing	1/2" & less	8d
	19/32" - 3/4"	10d
	7/8" - 1"	10d
	1 1/8" - 1 1/4"	12d
(sheathing nailing @ 6" oc @ panel edges & 12" oc @ intermediate supports except 6" @ intermediate supports where spans are 48" or more)		



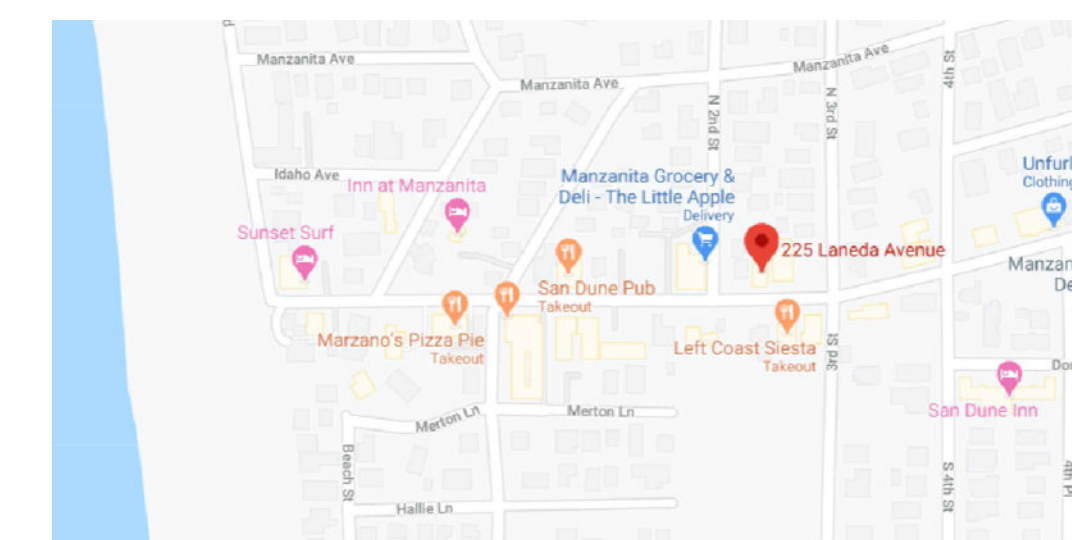
**SITE PLAN**  
1/8" = 1'-0"

**DRAWING INDEX**

- A1.0 SITE PLAN, GENERAL NOTES & INFORMATION
- A1.1 FIRE & LIFE SAFETY PLAN, DEMOLITION PLANS, CODE SUMMARY
- A1.2 FLOOR PLANS, ELECTRICAL/LIGHTING & KEYNOTES
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS, SCHEDULES, DETAILS
- A3.1 SECTIONS
  
- S1.1 FOUNDATION / FRAMING PLANS

**PROJECT INFORMATION**

<b>PROJECT DESCRIPTION</b>	MINOR REMODEL & ADDITION TO THE HISTORIC PINE GROVE COMMUNITY HALL TO INCLUDE ELIMINATION OF EXISTING STORAGE SHED & ADDITION OF NEW STORAGE AREAS, SMALL ACCESSORY OFFICE/PREP ROOM & INTERIOR STAIRWAY TO BASEMENT.
<b>PROPERTY LOCATION</b>	225 LANEDA AVE. MANZANITA, OR 97130 S29 T3N R10W WM
<b>COUNTY</b>	TILLAMOOK
<b>SITE AREA</b>	5,000 SF



**VICINITY MAP**  
NTS



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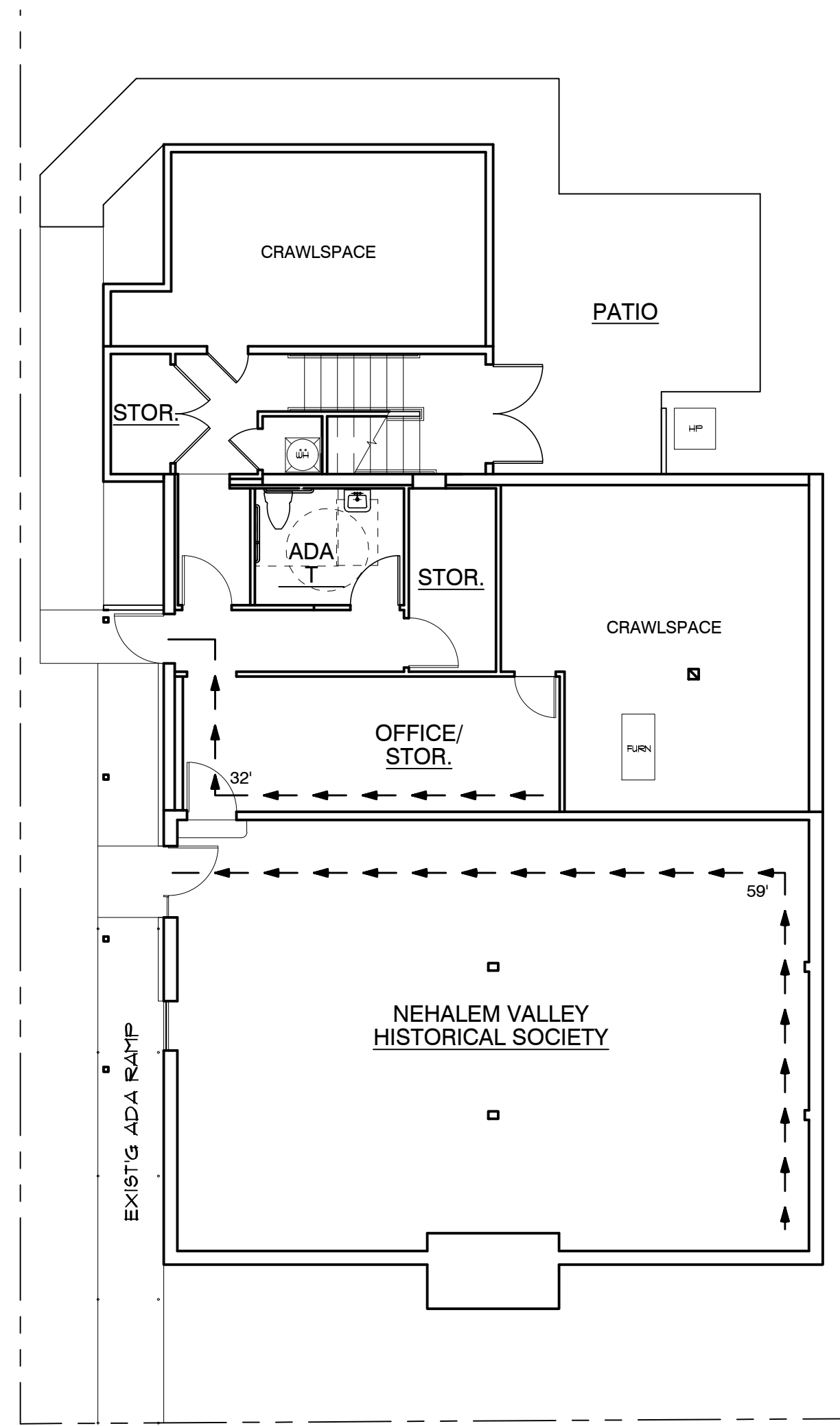


**Addition and Remodel to  
Pine Grove Community House**  
 225 Laneda Avenue  
 Manzanita, OR 97130

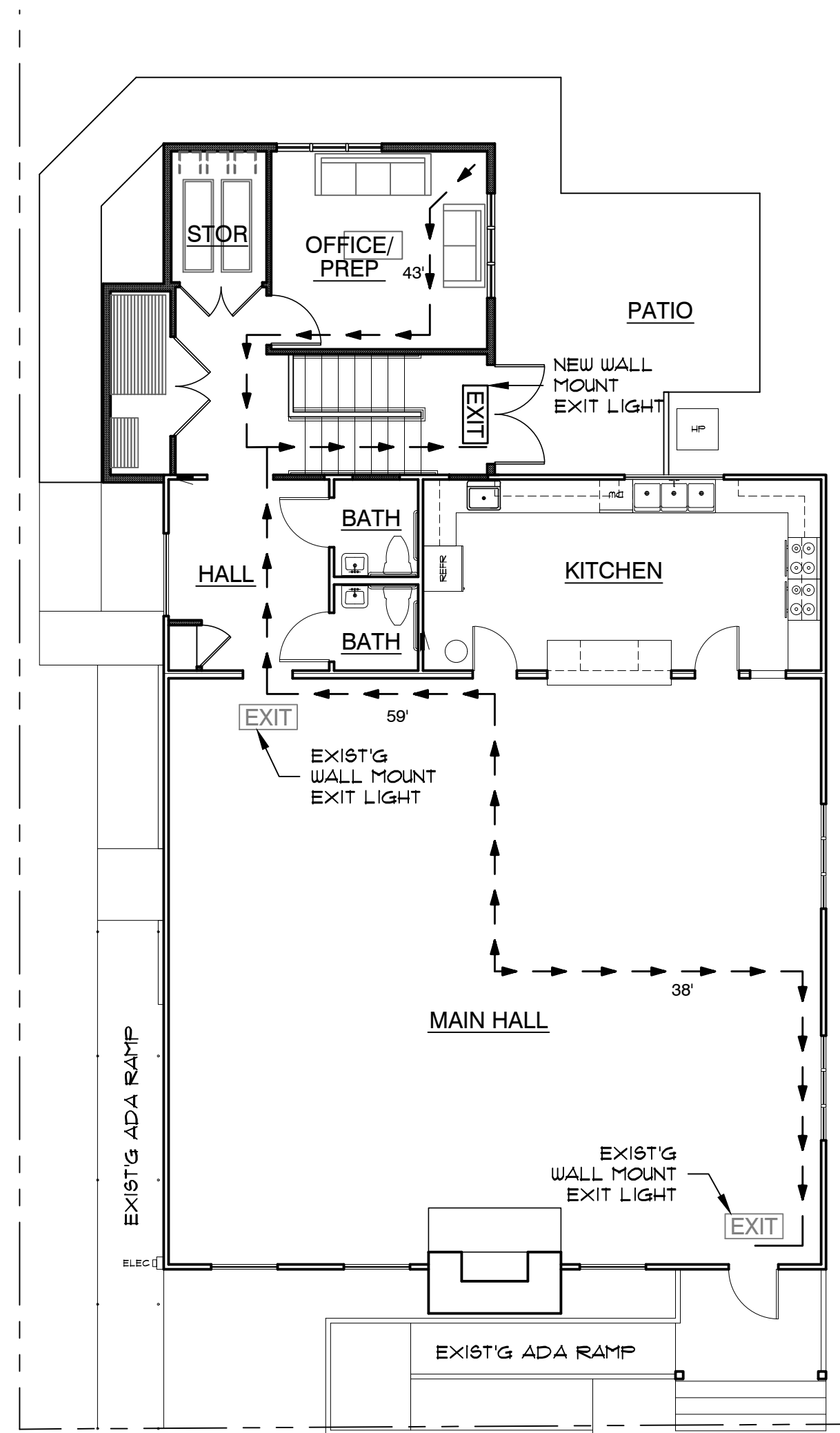
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FILE : X-XX  
DATE : 10/09/2020

SHEET #  
**A1.0**

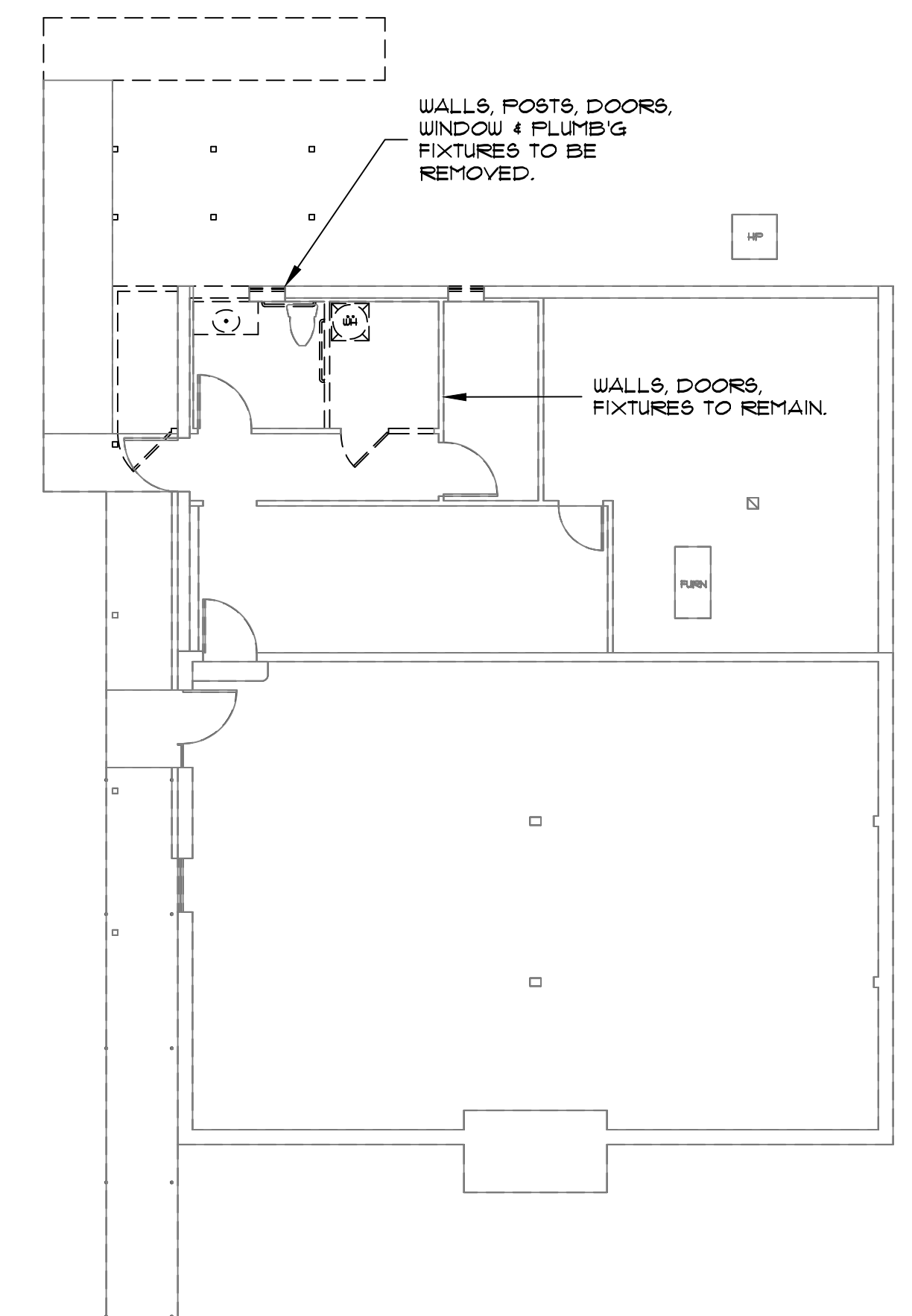
SITE PLAN,  
PROJECT INFO



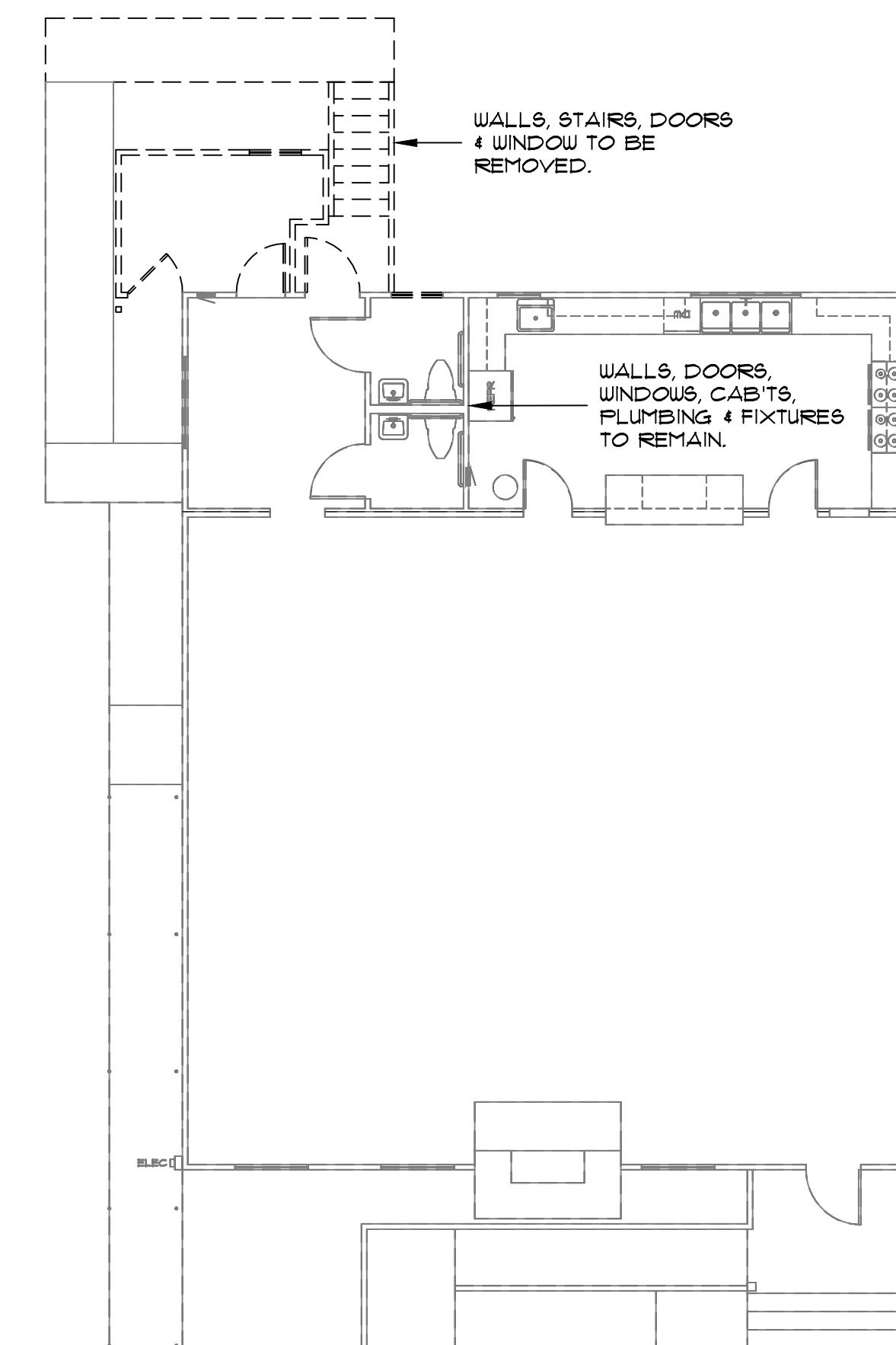
LOWER LEVEL FIRE & LIFE SAFETY PLAN  
1/8" = 1'-0"



MAIN LEVEL FIRE & LIFE SAFETY PLAN  
1/8" = 1'-0"



LOWER LEVEL DEMOLITION PLAN  
1/8" = 1'-0"



MAIN LEVEL DEMOLITION PLAN  
1/8" = 1'-0"

**BUILDING CODE SUMMARY**

2019 OSSC (MODIFIED 2018 IBC)

BUILDING SQUARE FOOTAGE	EXISTING	DELETED	ADDITION	TOTAL
MAIN LEVEL FLOOR AREA	1,920 SF	(85 SF)	444 SF	2,279 SF
BASEMENT FLOOR AREA	1,545 SF		100 SF	1,645 SF
TOTAL	3,465 SF	(85 SF)	544 SF	3,924 SF

OCCUPANCY	A-2, BANQUET HALL A-3, MUSEUM			
CONSTRUCTION TYPE	V-B			
SPRINKLERS	NOT SPRINKLERED			
HEIGHT	1 STORY ALLOWED 40' ALLOWED	(1 STORY W/ BASEMENT EXISTING) (+/- 24' EXISTING)		(TABLE 504.3, 504.4) (1011.7.3)
ALLOWABLE AREA	6,000 SF			(TABLE 506.2)
FIRE RESISTIVE CONSTRUCTION	WEST EXTERIOR WALLS BASED ON PROPERTY LINE LOCATION	1 HOUR		(TABLE 602)
	ENCLOSURES UNDER STAIRWAYS (WALLS & CEILING)	1 HOUR		(1011.7.3)
EXITING	<b>MAIN LEVEL</b>			
	BANQUET HALL	1,390 NSF	OLF = 15N / OCC = 93	2 / 2 (TABLE 1004.5)
	KITCHEN	294 GSF	OLF = 200G / OCC = 2	2 / 2 (TABLE 1004.5)
	MEETING ROOM	156 NSF	OLF = 15N / OCC = 10	1 / 1 (TABLE 1004.5)
	<b>BASEMENT</b>			
	MUSEUM	990 NSF	OLF = 30N / OCC = 30	1 / 1 (TABLE 1004.5)
	OFFICE/STORAGE	597 GSF	OLF = 150G / OCC = 4	1 / 1 (TABLE 1004.5)
EXIT ACCESS TRAVEL DISTANCE	ALLOWED MAXIMUM 200'	ACTUAL MAXIMUM 59'		(TABLE 1017.2)
ACCESSIBILITY	EXTERIOR ENTRANCES ACCESSIBLE VIA RAMPS AT EACH LEVEL PROPOSED UPGRADES:	REMODELED ADA TOILET ROOM AT BASEMENT TO INCLUDE REQUIRED CLEARANCES, NEW FIXTURES & NEW DOOR HARDWARE		
PLUMBING SYSTEMS	ASSEMBLY REQUIRED: MEN- 1 WC PER 125 OCCUPANTS WOMEN- 1 WC PER 65 OCCUPANTS 1 LAV PER 200 OCCUPANTS	PROVIDED: 1 WC / 1 LAV 1 WC / 1 LAV 1 WC / 1 LAV (GENDER NEUTRAL)		(TABLE 2902.1)
ENERGY	COMPLIES W/ OREGON ENERGY EFFICIENCY SPECIALTY CODE PRESCRIPTIVE METHOD			



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225 Laneda Avenue  
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SHEET #  
**A1.1**

SITE PLAN,  
PROJECT INFO



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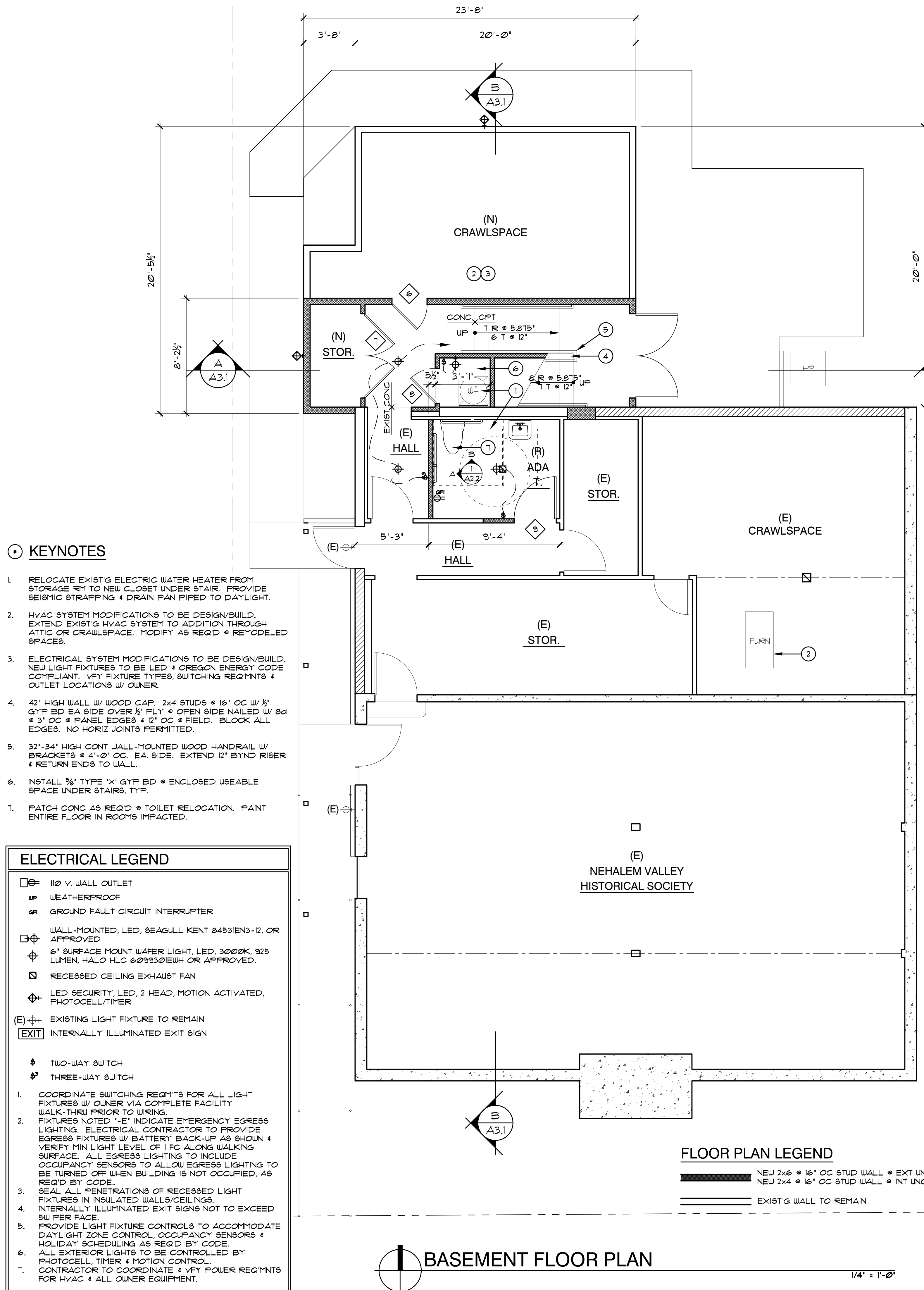
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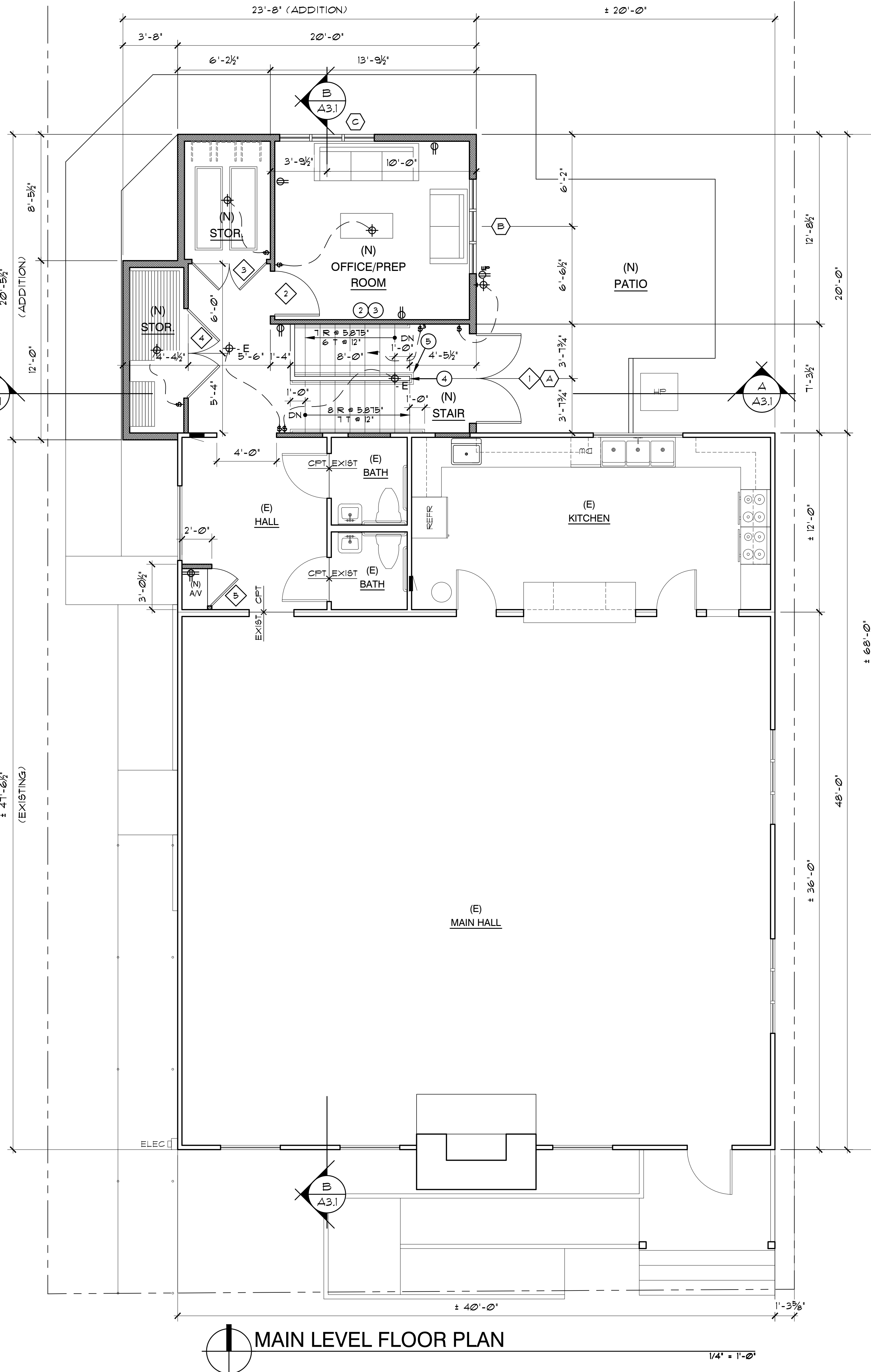
**A1.2**

FLOOR PLANS



**BASEMENT FLOOR PLAN**

1/4" = 1'-0"



**MAIN LEVEL FLOOR PLAN**

1/4" = 1'-0"

**KEYNOTES**

1. RELOCATE EXIST'G ELECTRIC WATER HEATER FROM STORAGE RM TO NEW CLOSET UNDER STAIR. PROVIDE SEISMIC STRAPPING & DRAIN PAN PIPED TO DAYLIGHT.
2. HVAC SYSTEM MODIFICATIONS TO BE DESIGN/BUILD. EXTEND EXIST'G HVAC SYSTEM TO ADDITION THROUGH ATTIC OR CRAWLSPACE. MODIFY AS REQ'D & REMODELED SPACES.
3. ELECTRICAL SYSTEM MODIFICATIONS TO BE DESIGN/BUILD. NEW LIGHT FIXTURES TO BE LED & OREGON ENERGY CODE COMPLIANT. VFY FIXTURE TYPES, SWITCHING REQ'MTS & OUTLET LOCATIONS W/ OWNER.
4. 42" HIGH WALL W/ WOOD CAP. 2x4 STUDS @ 16" OC W/ 1/2" GYP BD EA SIDE OVER 1/2" FLY @ OPEN SIDE NAILED W/ @ 3' OC @ PANEL EDGES & 12" OC @ FIELD. BLOCK ALL EDGES. NO HORIZ JOINTS PERMITTED.
5. 32"-34" HIGH CONT WALL-MOUNTED WOOD HANDRAIL W/ BRACKETS @ 4'-0" OC. EA. SIDE. EXTEND 12" BYND RISER & RETURN ENDS TO WALL.
6. INSTALL 3/4" TYPE 'X' GYP BD @ ENCLOSED USEABLE SPACE UNDER STAIRS, TYF.
7. PATCH CONC AS REQ'D @ TOILET RELOCATION. PAINT ENTIRE FLOOR IN ROOMS IMPACTED.

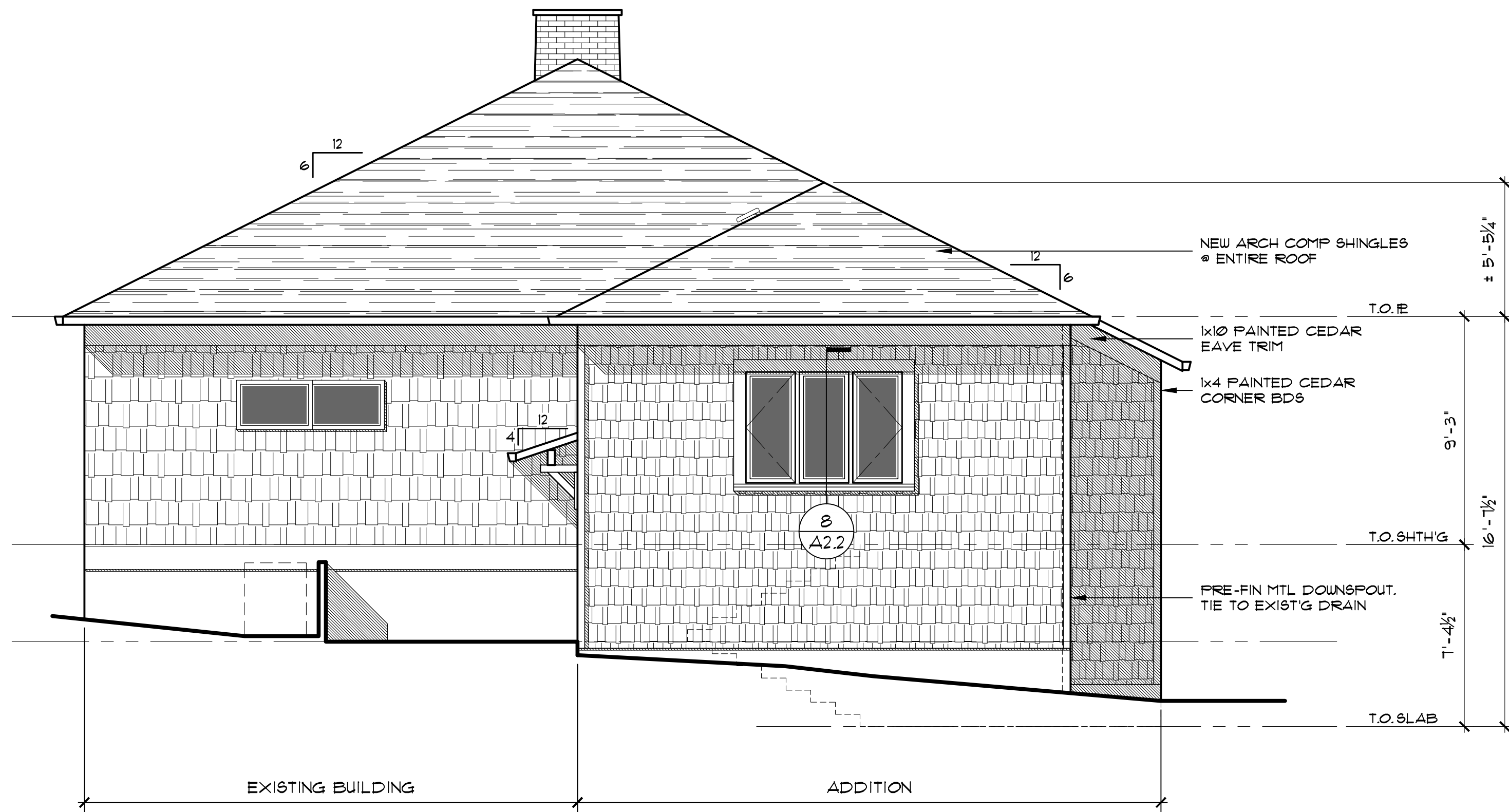
**ELECTRICAL LEGEND**

- ⊖ 110 V. WALL OUTLET
- ⊖ WEATHERPROOF
- ⊖ GROUND FAULT CIRCUIT INTERRUPTER
- ⊖ WALL-MOUNTED, LED, SEAGULL KENT 84531EN3-12, OR APPROVED
- ⊖ 6" SURFACE MOUNT WAFER LIGHT, LED, 3000K, 925 LUMEN, HALO HLC 8099301EUH OR APPROVED.
- ⊖ RECESSED CEILING EXHAUST FAN
- ⊖ LED SECURITY, LED, 2 HEAD, MOTION ACTIVATED, PHOTOCELL/TIMER
- (E) ⊖ EXISTING LIGHT FIXTURE TO REMAIN
- EXIT INTERNALLY ILLUMINATED EXIT SIGN
- ⊖ TWO-WAY SWITCH
- ⊖ THREE-WAY SWITCH

1. COORDINATE SWITCHING REQ'MTS FOR ALL LIGHT FIXTURES W/ OWNER VIA COMPLETE FACILITY WALK-THRU PRIOR TO WIRING.
2. FIXTURES NOTED "E" INDICATE EMERGENCY EGRESS LIGHTING. ELECTRICAL CONTRACTOR TO PROVIDE EGRESS FIXTURES W/ BATTERY BACK-UP AS SHOWN & VERIFY MIN LIGHT LEVEL OF 1 FC ALONG WALKING SURFACE. ALL EGRESS LIGHTING TO INCLUDE OCCUPANCY SENSORS TO ALLOW EGRESS LIGHTING TO BE TURNED OFF WHEN BUILDING IS NOT OCCUPIED, AS REQ'D BY CODE.
3. SEAL ALL PENETRATIONS OF RECESSED LIGHT FIXTURES IN INSULATED WALLS/CEILINGS.
4. INTERNALLY ILLUMINATED EXIT SIGNS NOT TO EXCEED 5W PER FACE.
5. PROVIDE LIGHT FIXTURE CONTROLS TO ACCOMMODATE DAYLIGHT ZONE CONTROL, OCCUPANCY SENSORS & HOLIDAY SCHEDULING AS REQ'D BY CODE.
6. ALL EXTERIOR LIGHTS TO BE CONTROLLED BY PHOTOCELL, TIMER & MOTION CONTROL.
1. CONTRACTOR TO COORDINATE & VFY POWER REQ'MTS FOR HVAC & ALL OWNER EQUIPMENT.

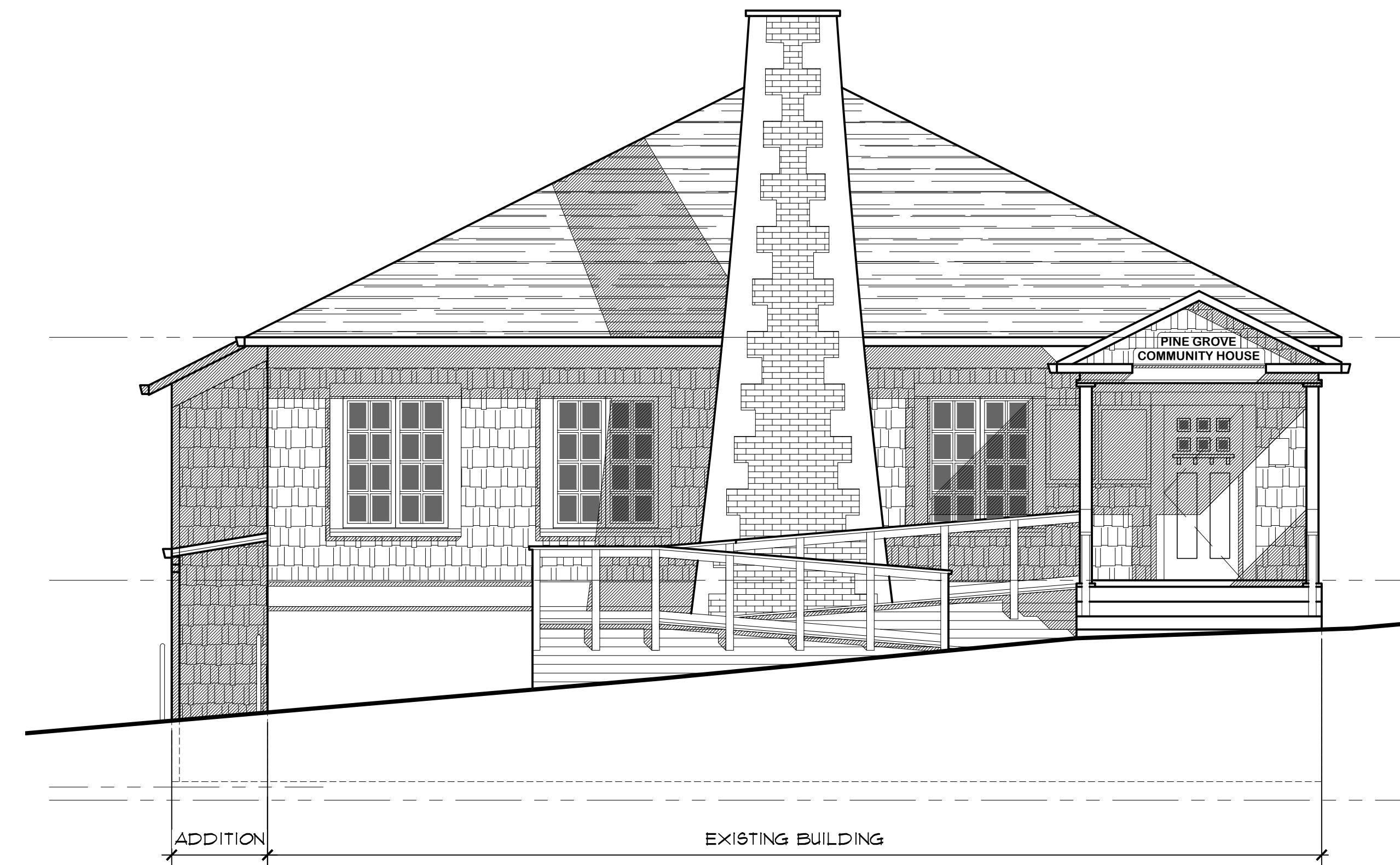
**FLOOR PLAN LEGEND**

- NEW 2x6 @ 16" OC STUD WALL @ EXT UNO
- NEW 2x4 @ 16" OC STUD WALL @ INT UNO
- EXIST'G WALL TO REMAIN



NORTH ELEVATION

1/4" = 1'-0"



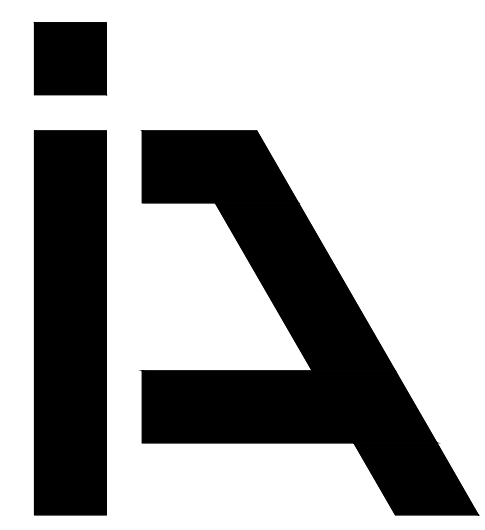
SOUTH ELEVATION

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WEST ELEVATION

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FILE : A-ELV  
DATE : 10/09/2020

SHEET #  
**A2.1**

BUILDING ELEVATIONS

WINDOW SCHEDULE				
⊗	SIZE	TYPE	MAT.	NOTES
A	(3) 2'-0" x 2'-0"	FXD	WDC	TEMP. HEAD • 1'-0" ABOVE MAIN LEVEL FLR
B	(3) 2'-0" x 4'-6"	X-O-X CSMT	WDC	
C	(3) 2'-0" x 4'-6"	X-O-X CSMT	WDC	

CSMT = CASEMENT  
 FXD = FIXED  
 TEMP = TEMPERED GLAZING  
 WDC = WOOD, METAL CLAD

NOTES:  
 1. ALL WINDOWS NOT LISTED ARE EXISTING TO REMAIN.  
 2. VFY ALL ROUGH OPENING REQMTS PER MANUF.

DOOR SCHEDULE								
⊠	SIZE	THK	TYPE	DOOR	FRAME	HDWR	DETAILS	NOTES
1	FR 3'-0" x 6'-8"	1 3/4"	FG	WDC	WD	1		INSUL, TEMP
2	3'-0" x 6'-8"	1 3/4"	FNL	WD	WD	2		
3	FR 2'-6" x 6'-8"	1 3/4"	FNL	WD	WD	3		
4	FR 3'-0" x 6'-8"	1 3/4"	FNL	WD	WD	3		
5	2'-6" x 6'-8"	1 3/4"	FNL	WD	WD	3		
6	2'-6" x 6'-8"	1 3/4"	FNL	WD	WD	4		INSUL, VFY HT.
7	FR 3'-0" x 6'-6"	1 3/4"	FNL	WD	WD	3		VFY HT.
8	2'-6" x 6'-6"	1 3/4"	FNL	WD	WD	3		VFY HT.
9	3'-0" x 6'-6"	1 3/4"	FNL	WD	WD	5		VFY HT.

FG = FULL GLAZED  
 FL = FLUSH  
 WDC = WOOD, METAL CLAD  
 FNL = PANEL  
 TEMP = TEMPERED  
 WD = WOOD

NOTES:  
 1. VFY DOOR STYLE & HARDWARE OPERATION W/ OWNER.  
 2. EXTERIOR DOORS MAX U-VALUE = 0.20. DOORS W/ MORE THAN 25 SF OF GLAZING MAX U-VALUE = 0.30.

### HARDWARE SCHEDULE

GROUP 1:  
 NRP HINGES  
 PANIC EXIT DEVICE  
 CLASSROOM LOCKSET LEVER TRIM  
 CLOSERS  
 WEATHERSTRIP & THRESHOLD

GROUP 2:  
 HINGES  
 CLASSROOM LOCKSET  
 FLOOR/WALL STOP

GROUP 3:  
 HINGES  
 PASSAGE LATCHSET  
 FLOOR/WALL STOP

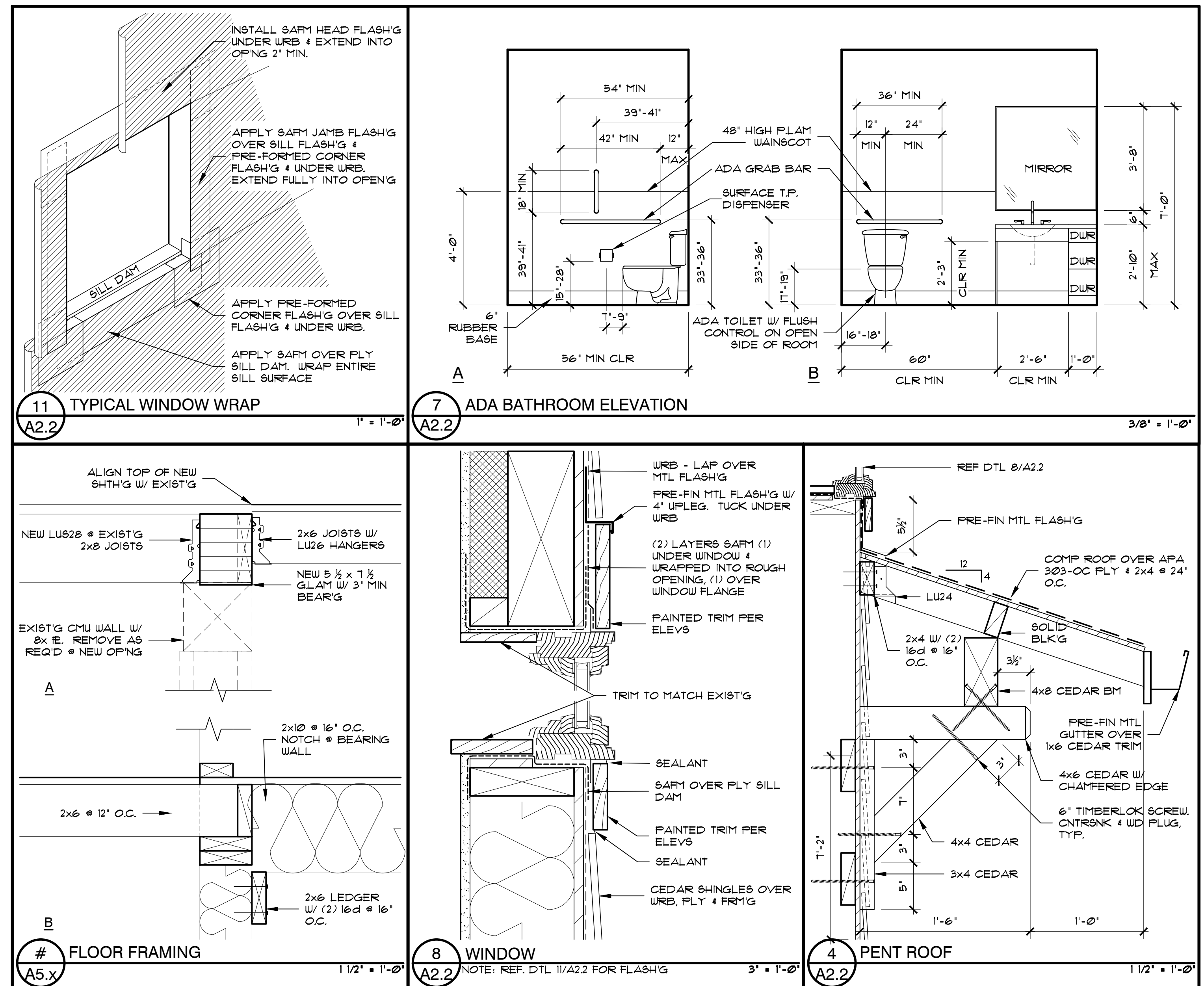
GROUP 4:  
 HINGES  
 STORAGE LOCKSET  
 WEATHERSTRIP & THRESHOLD  
 FLOOR/WALL STOP

GROUP 5:  
 HINGES  
 PASSAGE LOCKSET W/ INTERCONNECTED DEADBOLT OCCUPANCY INDICATOR  
 FLOOR/WALL STOP



### EAST ELEVATION

1/4" = 1'-0"



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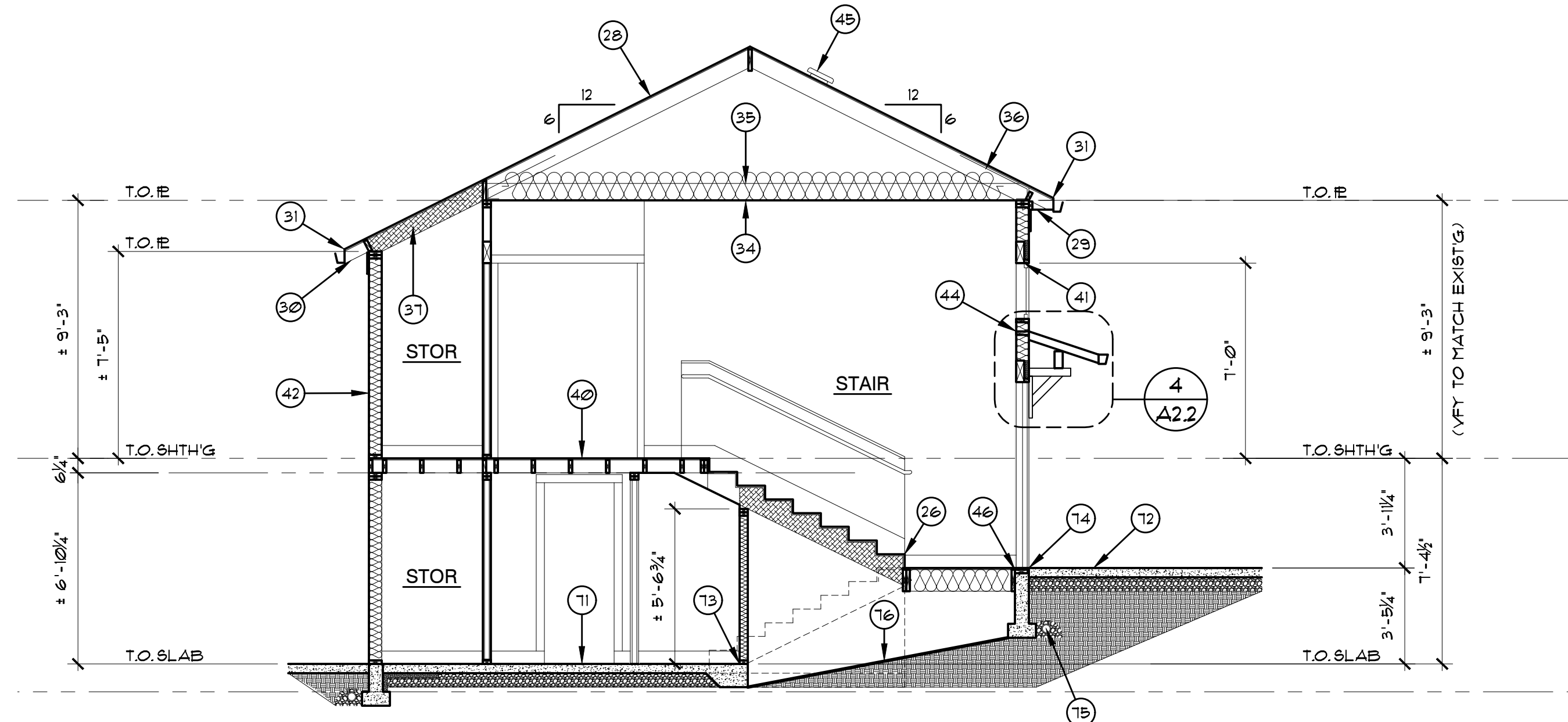
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**A2.2**

BUILDING ELEVATIONS

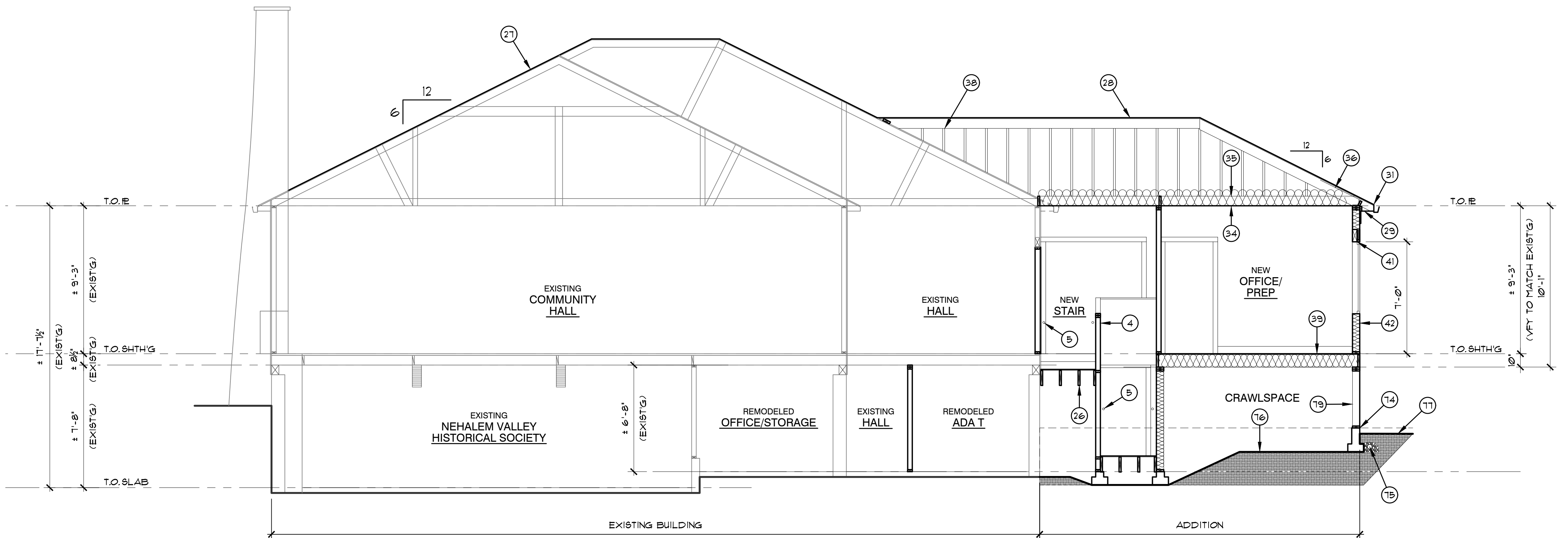
KEYNOTES

- RELOCATE EXIST'G WATER HEATER FROM STORAGE RM TO NEW CLOSET UNDER STAIR. PROVIDE SEISMIC STRAPPING & DRAIN PAN PIPED TO DAYLIGHT.
- HVAC SYSTEM MODIFICATIONS TO BE DESIGN/BUILD. EXTEND EXIST'G HVAC SYSTEM TO ADDITION THROUGH ATTIC OR CRAWLSPACE. MODIFY AS REQ'D & REMODELED SPACES.
- ELECTRICAL SYSTEM MODIFICATIONS TO BE DESIGN/BUILD. NEW LIGHT FIXTURES TO BE LED & OREGON ENERGY CODE COMPLIANT. VFY FIXTURE TYPES, SWITCHING REQ'TN'S & OUTLET LOCATIONS W/ OWNER.
- 42" HIGH WALL W/ WOOD CAP. 2x4 STUDS @ 16" OC W/ 1/2" GYP BD EA SIDE OVER 1/2" FLY. \* OPEN SIDE NAILED W/ 8d @ 3' OC @ PANEL EDGES & 12" OC @ FIELD. BLOCK ALL EDGES. NO HORIZ JOINTS PERMITTED.
- 32"-34" HIGH CONT WALL-MOUNTED WOOD HANDRAIL W/ BRACKETS @ 4'-0" OC. EA. SIDE. EXTEND 12" BYND RISER & RETURN ENDS TO WALL.
- INSTALL 3/4" TYPE 'X' GYP BD @ ENCLOSED USEABLE SPACE UNDER STAIRS, TYP.
- PATCH CONC AS REQ'D @ TOILET RELOCATION. PAINT ENTIRE FLOOR IN ROOMS IMPACTED.
- 25. NOT USED
- STAIR CONST: 1/2" PREFORMED TREADS W/ 3/4" NOSING & 1/2" FLY RISERS ON (4) 2x12 STRINGERS. INSTALL 3/4" TAG FLY OVER 2x8 JOISTS @ 16" OC @ STAIR LANDING. INSULATE STAIRS ABOVE CRAWLSPACE TO R-30 MIN.
- EXISTING ROOF ASSEMBLY: TEAR OFF & REMOVE ALL EXIST'G SHINGLES. INSTALL NEW COMP ROOF SHINGLES OVER 30" AS BLDG PAPER & 1/2" CDX PLY OVER EXIST'G JOISTS.
- NEW ROOF ASSEMBLY: NEW COMP ROOF SHINGLES OVER 30" AS BLDG PAPER & 1/2" CDX PLY & FRM'G PER PLANS.
- PAINTED 1/2" APA 303-OC PLY & 2x4 LEDGER @ CLOSED SOFFITS TO MATCH EXIST'G. INSTALL VENTED BLK'G & CONT 2" SCREENED VENT, TYP.
- PAINTED 1/2" APA 303-OC PLY & VENTED BLK'G @ EXPOSED UNDERSIDES OF ROOF IN LINE W/ ROOF SHTH'G.
- PRE-FIN STL FASCIA GUTTER TO MATCH EXIST'G OVER PAINTED 1x6 CEDAR FASCIA W/ 24 GA PRE-FIN STL FLASH'G @ TOP.
- PAINTED 1x10 CEDAR EAVE TRIM.
- NOT USED.
- 1/2" GYP BD OVER CLG JOISTS PER FRM'G PLAN.
- ATTIC INSULATION, R-38 MIN W/ VAPOR BARRIER IN DIRECT CONTACT W/ GYP BD CLG.
- RIGID MOISTURE-RESISTANT INSUL BAFFLES.
- RAFTERS PER FRM'G PLAN. FILL RAFTERS @ VAULTED AREAS W/ CLOSED-CELL POLYURETHANE SPRAY FOAM INSUL, R-38 MIN.
- ROOF FRAMED OVER EXIST'G ROOF BELOW. PROVIDE MIN 20' x 30' ACCESSWAY THROUGH EXIST'G SHTH'G.
- MAIN LEVEL FLOOR ASSEMBLY ABOVE CRAWLSPACE: 23/32" APA RATED STURDI-FLR 240C EXP 1 TAG FLY SHTH'G OVER FRM'G PER FRM'G PLANS. (APPROVED FOR CARPET & VINYL FLR'G. VFY REQ'TN'S W/ MANUF.) INSTALL R-30 BATT INSUL W/ VAPOR BARRIER IN DIRECT CONTACT W/ SHTH'G.
- MAIN LEVEL FLOOR ASSEMBLY ABOVE BASEMENT: 23/32" APA RATED STURDI-FLR 240C EXP 1 TAG FLY SHTH'G OVER FRM'G PER FRM'G PLANS. (APPROVED FOR CARPET & VINYL FLR'G. VFY REQ'TN'S W/ MANUF.)
- TYP EXT HDR: 4x10 #1 DF-L, UNO. (REF FRM'G PLANS). FILL CAVITY W/ RIGID INSUL.
- EXTERIOR WALL ASSEMBLY: CEDAR SHINGLE SIDING OVER DRAINABLE WEATHER RESISTIVE BARRIER (FORTIFIBER HYDRO-TEX, OR APPROVED) OVER 15/32" APA SPAN-RATED SHTH'G ON 2x6 STUDS @ 16" O.C. INSTALL R-21 BATT INSUL & 1/2" GYP BD @ INSIDE FACE.
- INTERIOR WALL ASSEMBLY: 1/2" GYP BD EA SIDE OVER 2x4 STUDS @ 16" O.C.
- INSTALL FIREBLK'G @ CLG & FLOOR LEVELS. HORIZONTALLY @ INTERVALS NOT EXCEEDING 10'-0". & @ INTERCONNECTIONS BTWN CONCEALED HORIZ & VERTICAL SPACES, SUCH AS @ SOFFITS OR PORCH ROOFS, TYP.
- JACK TYPE ROOF VENT. 100 SQ IN NET FREE VENTILATING AREA REQ'D @ ADDITION. 400 SQ IN NET FREE VENTILATING AREA REQ'D @ EXISTING.
- PT 2x8 SILL @ INSIDE FACE OF FDN WALL W/ LB28 HANGERS.
- 10. NOT USED
- BUILDING SLAB-ON-GRADE ASSEMBLY: 4" CONC SLAB OVER FORTIFIBER MOISTOP VAPOR BARRIER (OR EQUAL) OVER MIN 4" COMPACTED CRUSHED ROCK 3/4"-Ø. INSTALL 2" RIGID UNDER-SLAB INSUL (R-15 MIN) FOR 2" @ PERIM. TYP.
- PATIO SLAB-ON-GRADE ASSEMBLY: 4" CONC SLAB OVER MIN 4" COMPACTED CRUSHED ROCK 3/4"-Ø W/ CONTROL JOINTS @ 11'-0" OC MAX. SLOPE 1/8" PER FOOT AWAY FROM BLDG TO DRAIN.
- PT 2x SILL W/ PDR DRIVEN FASTENERS @ 12" OC TYP @ SLAB @ NON-BEARING WALLS.

- PERIMETER FOUNDATION: 8" CONC FDN WALL W/ (1) #4 CONT @ TOP OF WALL, #4 @ 32" OC VERT & 1/2" x 1" MIN EMBED A. BOLTS @ 48" OC (UNO.) W/ LB28 W/ WASHERS ON 16" x 8" CONC FTG W/ (2) #4 CONT BEARING ON FIRM, UNDISTURBED SOIL.  
NO MORE THAN 30" OF UNBALANCED BACKFILL PERMITTED. MIN DIST BTWN FIN GRADE & BTM OF FTG TO BE 18", TYP.  
REF SHEARWALL & HOLDOWN SCHEDULES FOR A. BOLT SIZE, SPACING & EMBEDMENT @ SHEARWALLS.  
INSTALL PT 2x6 MUDDILL @ OUTSIDE FACE OF FDN WALL OVER FIBERGLASS REINFORCED SILL SEALER. MIN (2) A. BOLTS REQ'D FOR ANY LENGTH OF MUDDILL.
- CONT 4" PERF FDN DRAIN WRAPPED W/ FILTER FABRIC SET IN CLEAN, FREE-DRAINING MATERIAL. TIE TO EXIST'G SYSTEM.
- COVER FLOOR OF CRAWLSPACE W/ 6 MIL CROSS-LAMINATED POLY VAPOR BARRIER. EXTEND UP FDN WALL 12" & LAP BEAMS 12". SLOPE CRAWL SPACE TO DRAIN & PROVIDE LOW POINT FTG. DRAIN.
- MIN DIST BTWN SIDING & FIN GRADE TO BE 8". SLOPE GRADE AWAY FROM FDN FOR 12" MIN.
- DOUCEL (2) #4 x 4'-0" INTO EXIST'G FTG & (1) #4 x 4'-0" @ 16" OC HORIZ INTO EXIST'G STEMWALL. EMBED MIN 4 1/2" INTO EXIST'G & SET IN NON-SHRINK GROUT OR SIMPSON SET-XP EPOXY. \*\*\*SPECIAL INSPECTION REQ'D\*\*\*
- 2x6 @ 16" O.C. PONY WALL W/ R-21 BATT INSUL
- 16" x 8" CLOSEABLE SCREENED FDN VENTS



A SECTION 1/4" = 1'-0"



B SECTION 1/4" = 1'-0"



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Addition and Remodel to  
**Pine Grove Community House**

225 Laneda Avenue  
Manzanita, OR 97130

PROJ. NO.: 20-07  
FILE: X-XX  
DATE: 10/09/2020

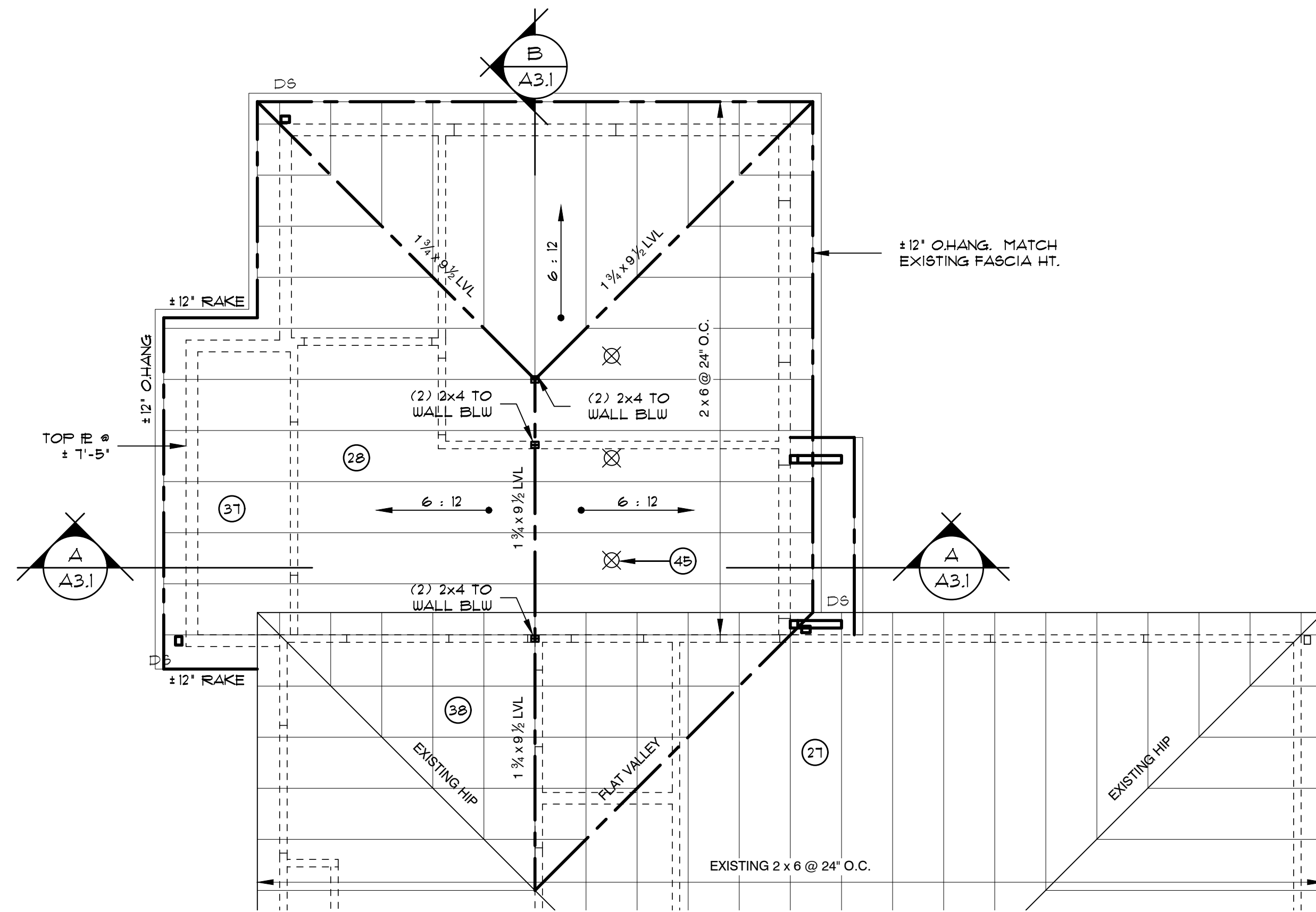
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BUILDING SECTIONS

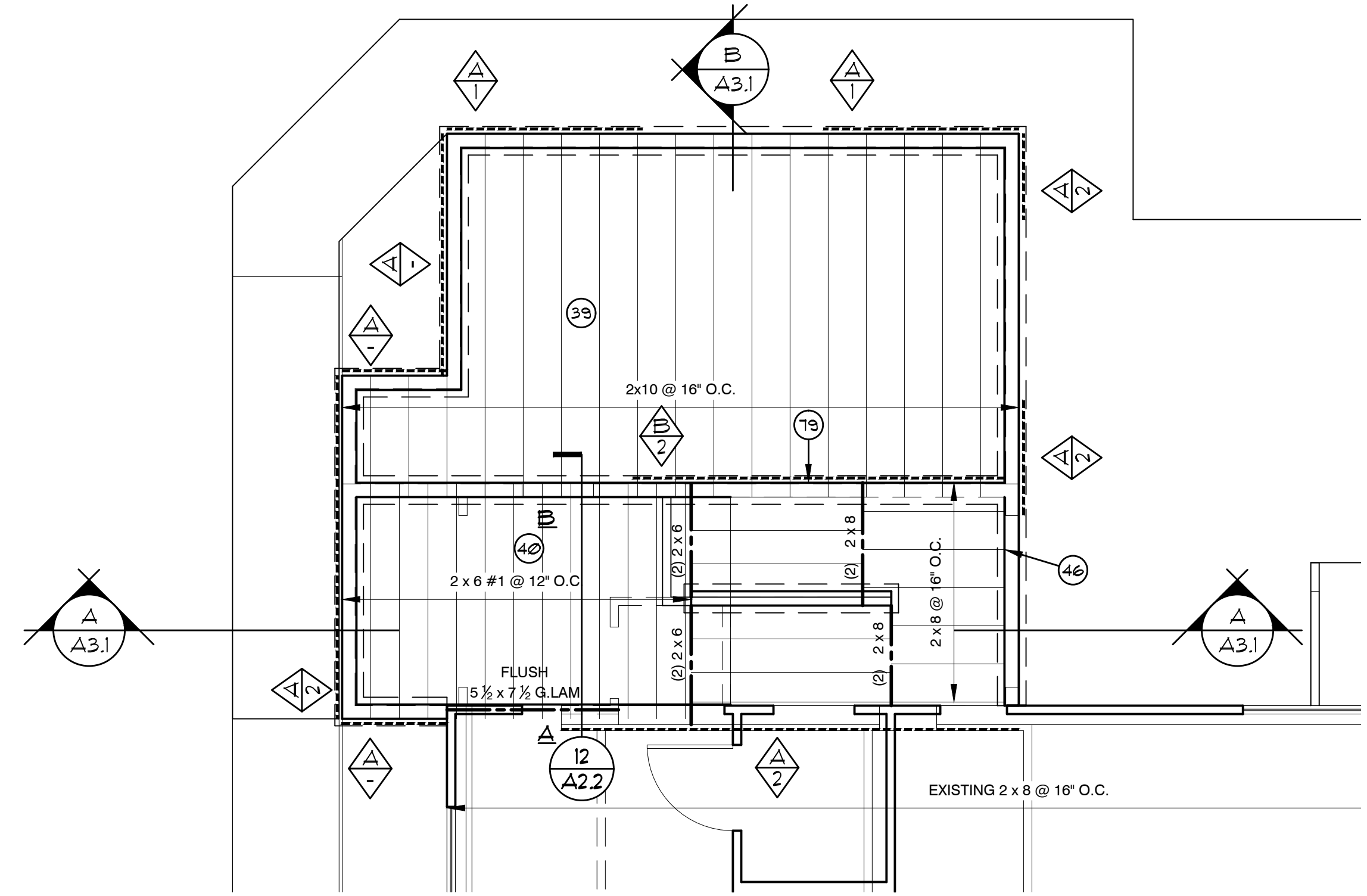
**KEYNOTES**

27. EXISTING ROOF ASSEMBLY: TEAR OFF & REMOVE ALL EXIST'G SHINGLES, INSTALL NEW COMP ROOF SHINGLES OVER 30" AS BLDG PAPER & 1/2" CDX FLY OVER EXIST'G JOISTS.
28. NEW ROOF ASSEMBLY: NEW COMP ROOF SHINGLES OVER 30" AS, BLDG PAPER & 1/2" CDX FLY & FRM'G PER PLANS.
31. RAFTERS PER FRM'G PLAN. FILL RAFTERS @ VAULTED AREAS W/ CLOSED-CELL POLYURETHANE SPRAY FOAM INSUL, R-30 MIN.
38. ROOF FRAMED OVER EXIST'G ROOF BELOW. PROVIDE MIN 20' x 30' ACCESSWAY THROUGH EXIST'G SHTH'G.
39. MAIN LEVEL FLOOR ASSEMBLY ABOVE CRAWLSPACE: 23/32" APA RATED STURDI-FLR 240C EXP 1 TAG FLY SHTH'G OVER FRM'G PER FRM'G PLANS. (APPROVED FOR CARPET & VINYL FLR'G. VFY REQ'TS W/ MANUF.) INSTALL R-30 BATT INSUL W/ VAPOR BARRIER IN DIRECT CONTACT W/ SHTH'G.
40. MAIN LEVEL FLOOR ASSEMBLY ABOVE BASEMENT: 23/32" APA RATED STURDI-FLR 240C EXP 1 TAG FLY SHTH'G OVER FRM'G PER FRM'G PLANS. (APPROVED FOR CARPET & VINYL FLR'G. VFY REQ'TS W/ MANUF.)
45. JACK TYPE ROOF VENT. 100 SQ IN NET FREE VENTILATING AREA REQ'D @ ADDITION. 400 SQ IN NET FREE VENTILATING AREA REQ'D @ EXISTING.
46. FT 2x8 SILL @ INSIDE FACE OF FDN WALL W/ LB20 HANGERS.

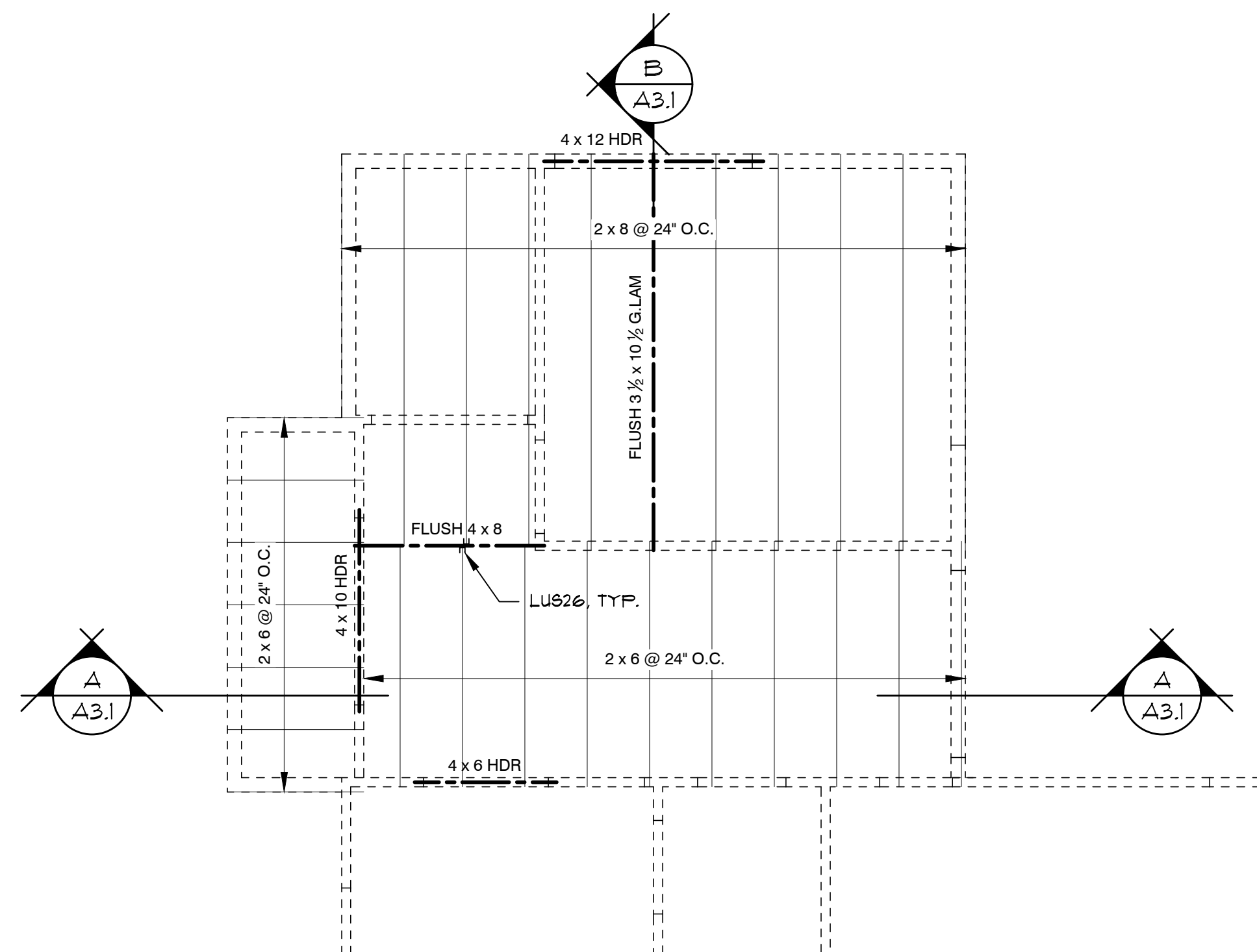
71. BUILDING SLAB-ON-GRADE ASSEMBLY: 4" CONC SLAB OVER FORTIFIBER MOIST/VAPOR BARRIER (OR EQUAL) OVER MIN 4" COMPACTED CRUSHED ROCK 3/4" @ W/ CONTROL JOINTS @ 11'-0" OC MAX. SLOPE 1/8" PER FOOT AWAY FROM BLDG TO DRAIN.
72. RATIO SLAB-ON-GRADE ASSEMBLY: 4" CONC SLAB OVER MIN 4" COMPACTED CRUSHED ROCK 3/4" @ W/ CONTROL JOINTS @ 11'-0" OC MAX. SLOPE 1/8" PER FOOT AWAY FROM BLDG TO DRAIN.
73. FT 2x SILL W/ PDR DRIVEN FASTENERS @ 12" OC TYP @ SLAB @ NON-BEARING WALLS.
74. PERIMETER FOUNDATION: 8" CONC FDN WALL W/ (1) #4 CONT @ TOP OF WALL, #4 @ 32" OC VERT & 1/2" x 1" MIN EMBED A. BOLTS @ 40" OC (UNO.) W/ LBF 1/2" WASHERS ON 16" x 8" CONC FTG W/ (2) #4 CONT BEARING ON FIRM, UNDISTURBED SOIL.  
NO MORE THAN 30" OF UNBALANCED BACKFILL PERMITTED. MIN DIST BTWN FIN GRADE & BTM OF FTG TO BE 18", TYP.  
REF SHEARWALL & HOLDOWN SCHEDULES FOR A. BOLT SIZE, SPACING & EMBEDMENT @ SHEARWALLS.  
INSTALL FT 2x6 MUDSILL @ OUTSIDE FACE OF FDN WALL OVER FIBERGLASS REINFORCED SILL SEALER. MIN (2) A. BOLTS REQ'D FOR ANY LENGTH OF MUDSILL.
75. CONT 4" PER FDN DRAIN WRAPPED W/ FILTER FABRIC SET IN CLEAN, FREE-DRAINING MATERIAL. TIE TO EXIST'G SYSTEM.
76. COVER FLOOR OF CRAWLSPACE W/ 6 MIL CROSS-LAMINATED POLY VAPOR BARRIER. EXTEND UP FDN WALL 12" & LAP SEAMS 12". SLOPE CRAWL SPACE TO DRAIN & PROVIDE LOW POINT FTG. DRAIN.
77. MIN DIST BTWN SIDING & FIN GRADE TO BE 0". SLOPE GRADE AWAY FROM FDN FOR 12" MIN.
78. DOUCEL (2) #4 x 4'-0" INTO EXIST'G FTG & (1) #4 x 4'-0" @ 16" OC HORIZ INTO EXIST'G STENWALL. EMBED MIN 4" INTO EXIST'G & SET IN NON-SHRINK GROUT OR SIMPSON SET-XP EPOXY. \*\*\*SPECIAL INSPECTION REQ'D\*\*\*
79. 2x6 @ 16" O.C. PONY WALL W/ R-21 BATT INSUL.
80. 16" x 8" CLOSEABLE SCREENED FDN VENTS



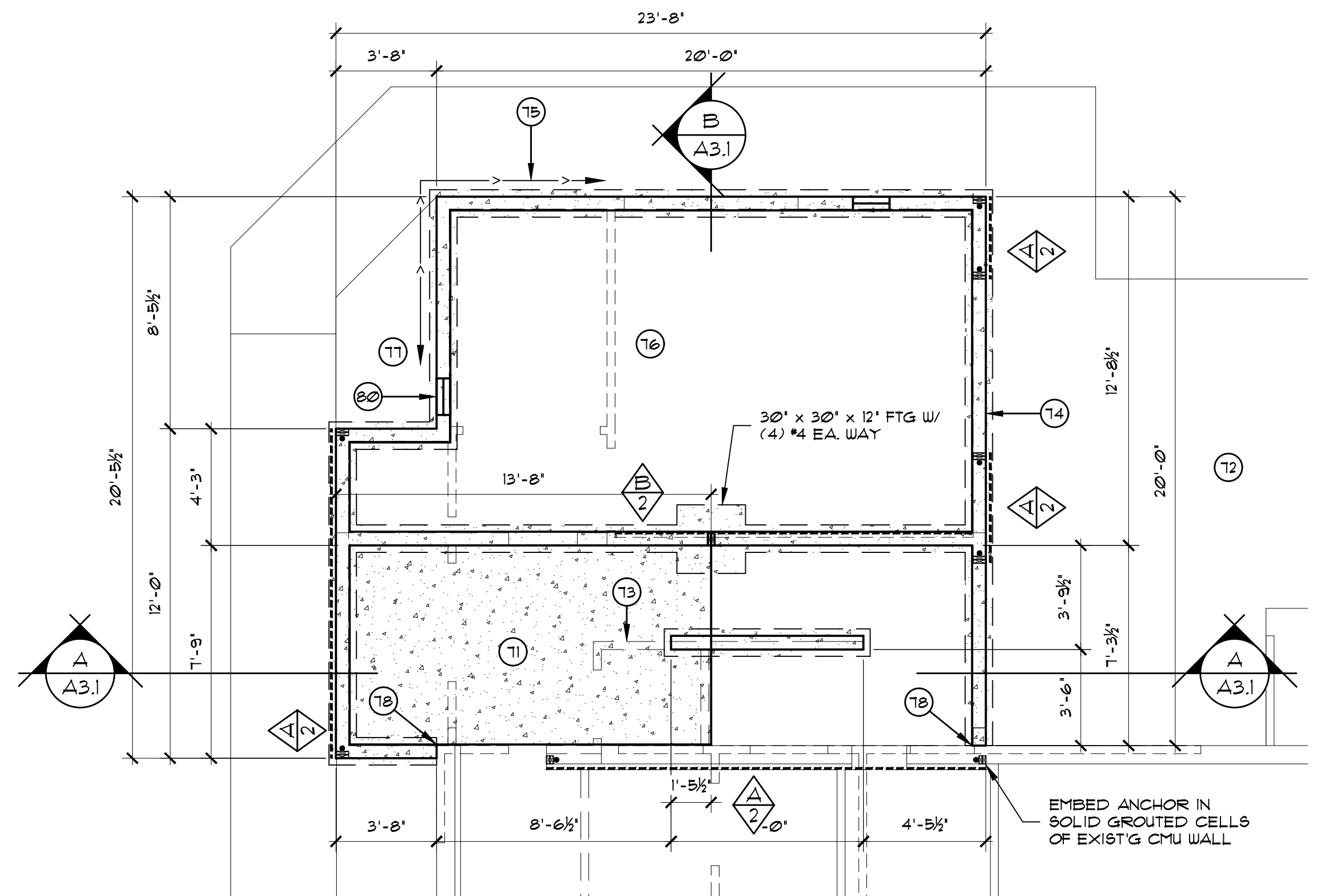
**ROOF FRAMING PLAN**  
1/4" = 1'-0"



**MAIN LEVEL FLOOR FRAMING PLAN**  
1/4" = 1'-0"



**CEILING FRAMING PLAN**  
1/4" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"

Holdown Schedule				
Holdown	Attachment to Framing Member	Minimum Framing Member Size	Attachment to Foundation	Comments
-	NONE REQUIRED			
1	LTT19	(8) Ø.148 x 1 1/2"	(2) 2x POST	INSTALL M5TA49 TO DBL 2x STUD @ FLR LINE A5V
2	SIMPSON HDU2-SD2.5	(6) SD8 1/4" x 2 1/2"	(2) 2x POST	

**HOLDOWN GENERAL NOTES:**  
 1. DBL STUDS SHALL BE LAMINATED TOGETHER W/ 16d NAILS @ 6" OC FULL HEIGHT (TYP)  
 2. ALL HOLDOWNS AND ANCHORS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.  
 3. HOLDOWNS OCCUR @ EA END OF WALL.

Shear Wall Schedule					
Sheathing - Nailing	Sole Plate Conn. To Rim Joist	Rim Joist Conn. To Dbl Top Plate	Mud Sill Plate and Anchor Bolts	Sole Plate Conn. To Sill (@ Garage)	
A 15/32" APA RATED PLYWOOD SHTH'G (1) SIDE W/ 8d NAILS @ 6" O.C. EDGES & 12" O.C. @ FIELD	(2) 16d @ 12" O.C.	16d TOE NAILS @ 8" O.C. & SIMPSON LTP4 @ 48" O.C. UNO.	2x SILL B W/ 3/4" x 10" A. BOLT @ 32" OC W/ LBF 1/2" WASHERS	10d @ 1' O.C.	
B 1/2" GYP WALL BOARD EACH SIDE W/ 5d COOLER NAILS @ 1' O.C. AT PANEL EDGES & 16" O.C. @ FIELD	(2) 16d @ 12" O.C.	16d TOE NAILS @ 12" O.C.	-	-	

**SHEARWALL GENERAL NOTES: (APPLY TO ALL SHEARWALLS)**  
 1. IF A. BOLT SPACING IS GREATER THAN SHEARWALL LENGTH INSTALL (1) A. BOLT WITHIN 8" OF EA END.  
 2. MIN (2) A. BOLTS REQ'D PER SHEARWALL.  
 3. SHEARWALL FRM'G SHALL BE 16" OC UNLESS NOTED OR DETAILED OTHERWISE.  
 4. SHEARWALLS SHALL BE BLK'D @ ALL PANEL EDGES UNLESS NOTED OR DETAILED OTHERWISE.  
 5. ALL NAILS STATED ARE COMMON NAILS UNO.  
 6. ALL SHTH'G SHALL BE EXPOSURE 1, SPAN RATED 32/16.  
 7. OFFSET FLY SHTH'G PANEL JOINTS TO FALL ON DIFFERENT MEMBERS OR FRM'G SHALL BE 3" NOMINAL OR GREATER & NAILS ON EA SIDE SHALL BE STAGGERED.



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**S1.1**

FOUNDATION PLAN  
MAIN FLOOR FRAMING PLAN